

PICACHO ELEMENTARY SCHOOL MULTI-PURPOSE BUILDING ROOF RESTORATION

PICACHO ELEMENTARY SCHOOL DISTRICT NO. 33

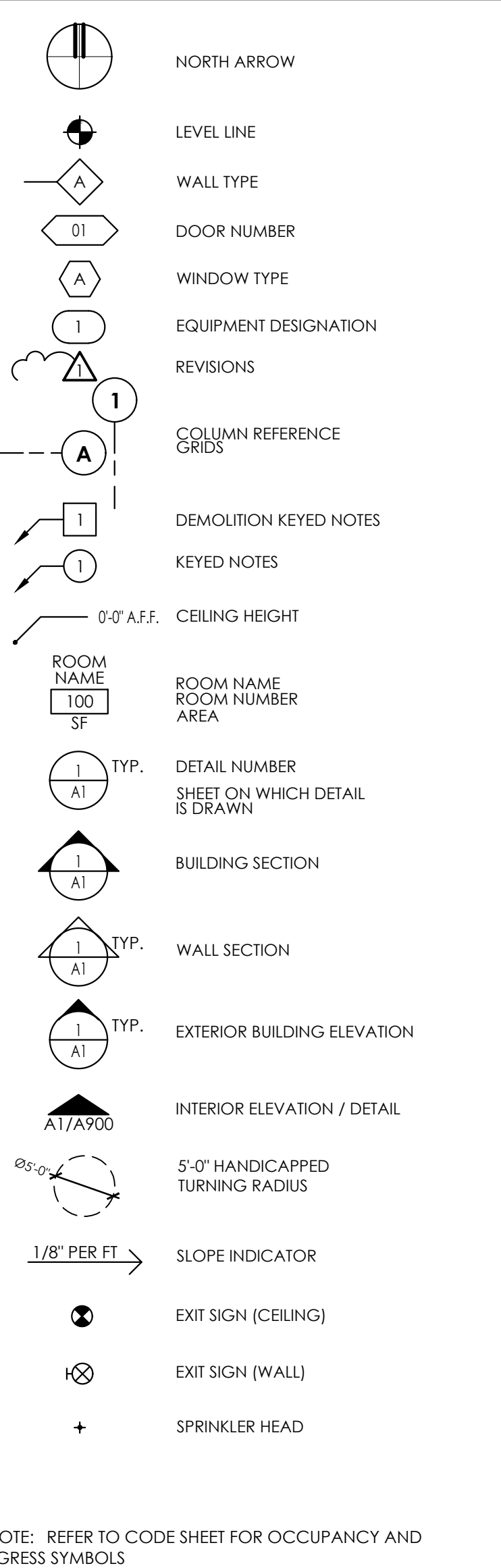
17865 SOUTH VAIL ROAD
PICACHO, ARIZONA 85141

IFB# 20-01-21 / SFB# 110433133-104-003-BRG

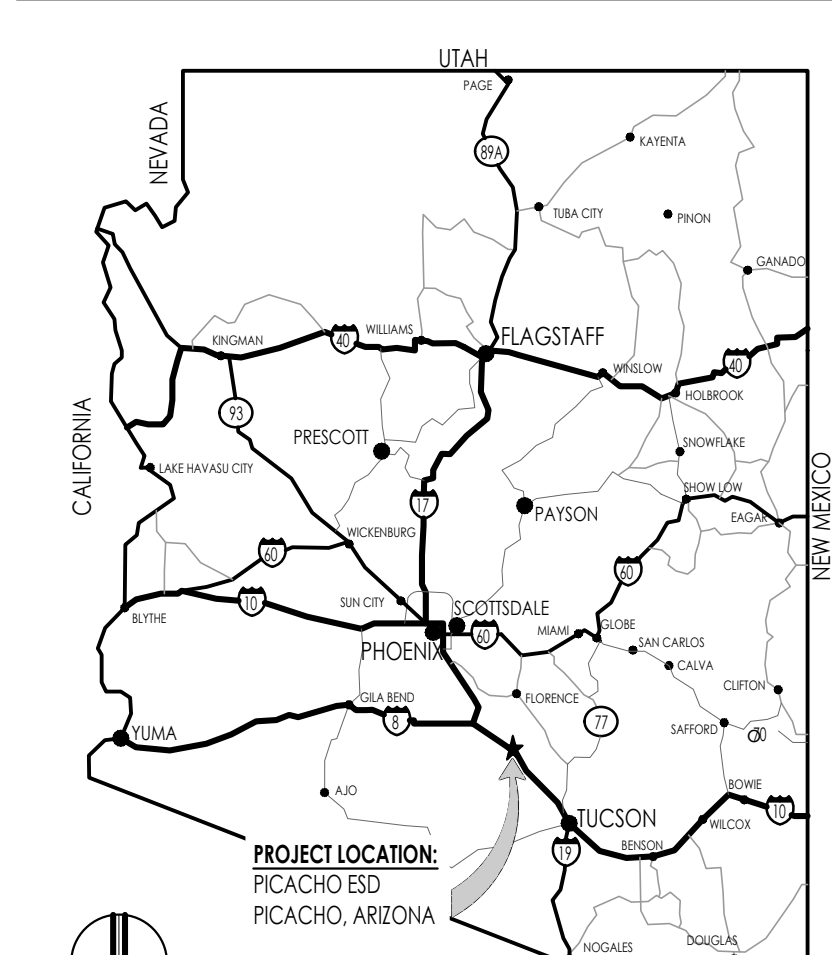
ABBREVIATION SCHEDULE

A	G	R
AB ANCHOR BOLT	GA GAUGE	RA RADIUS
ABC AGGREGATE BASE COURSE	GALV GALVANIZED	RA RETURN AIR (REGISTER)
AC ACOUSTIC (AL)	GI GALVANIZED IRON	RB RUBBER TILE
A/C AIR CONDITIONING	GL GLASS	RCP REFLECTED CEILING PLAN
ACP ACOUSTICAL CEILING PANEL (A-CY)	GLB GULF LAMINATED BEAM	RD ROOF DRAIN
ACT ACOUSTICAL TILE (APPLIED)	GYP GYPSUM	REF REFERENCE
ADA(AG) AMERICAN W/ DISABILITIES ACT (ACCESSIBILITY GUIDELINES)	H HARD	RM ROOM
ADD ADDITIVE	HARD HARDENER	RO ROUGH OPENING
AFF ABOVE FINISHED FLOOR	HB HOSE BIB	RR REFRIGERATOR
ALT ALTERNATE (IVE)	HC HOLLOW CORE	RENF RENOVATE (D) (ING)
AL ALUMINUM	HDCP HEAVY DUTY	REQ REQUIRED
AP ACCESS PANEL	HDCP HANDICAPPED	RES RESIDENT
ARCH ARCHITECT (URAL)	HDW HARDWARE	REV REVISE (D) (S) (ION)
	HEWD HARDWOOD	R/O RIGHT-OF-WAY
	HM HOLLOW METAL	RIG RATING
	HORIZ HORIZONTAL	
	HT HORIZONTAL	
	HTR HEATER	S SMART BOARD
BB BOND BEAM, BASE BID	HVAC HEATING/VENTILATING/	SC SCHEDULE
BLDG BUILDING	HW HOT WATER	SD STORM DRAIN
BLK (G) BLOCK (ING)		SEC SECTION
BM BENCHMARK		SF SQUARE FOOT
BTM BOTTOM		SG SAFETY GLASS
BRG BEARING		SHT SHEET
BUR BUILT-UP ROOF		SIM SIMILAR
		SPK SPEAKER
		SQ SQUARE
		SS STAINLESS STEEL
		STC SOUND TRANSMISSION
		STL STEEL
		STR STORAGE
		STRUC STRUCTURE (AL)
		SUB SUBSTRATE
		SUS SUSPENDED
		SYM SYMMETRICAL
		SYT SYSTEM
		T&G TONGUE & GROOVE
		TB TACKBOARD
		TEL TELEPHONE
		TEMP (T) TEMPERATURE/TEMPERED
		TER TERRAZZO
		THK THICK (INSS)
		TJ TOOLED JOINT
		TOF TOP OF CURB
		TOF TOP OF FOOTING
		TOM TOP OF MASONRY
		TOP TOP OF PAVEMENT
		TOW TOP OF WALL
		TS TUBE STEEL
		TV TELEVISION
		TYP TYPICAL
		UNF UNFINISHED
		UNO UNLESS NOTED OTHERWISE
		V VARIES
		VCT VERTICAL CURB
		VCT VERTICAL COMPOSITION TILE
		VERT VERTICAL
		VEST VESTIBULE
		VGT VERTICAL GRAIN
		VSB VINYL GYPSUM BOARD
		V-J V-JOINT (ED)
		W WITH
		WO WITHOUT
		WC WATER CLOSET
		WDW WINDOW
		WH WATER HEATER
		WP WATERPROOFING
		WR WATER RESISTANT
		WSC WAINSCOT
		WT WEIGHT
		WWF WELDED WIRE FABRIC
		X CHANNEL
		Y NUMBER
		Z PLATE
		PRPP PROPERTY LINE
		R ROUND
		@ AT
		SQ SQUARE

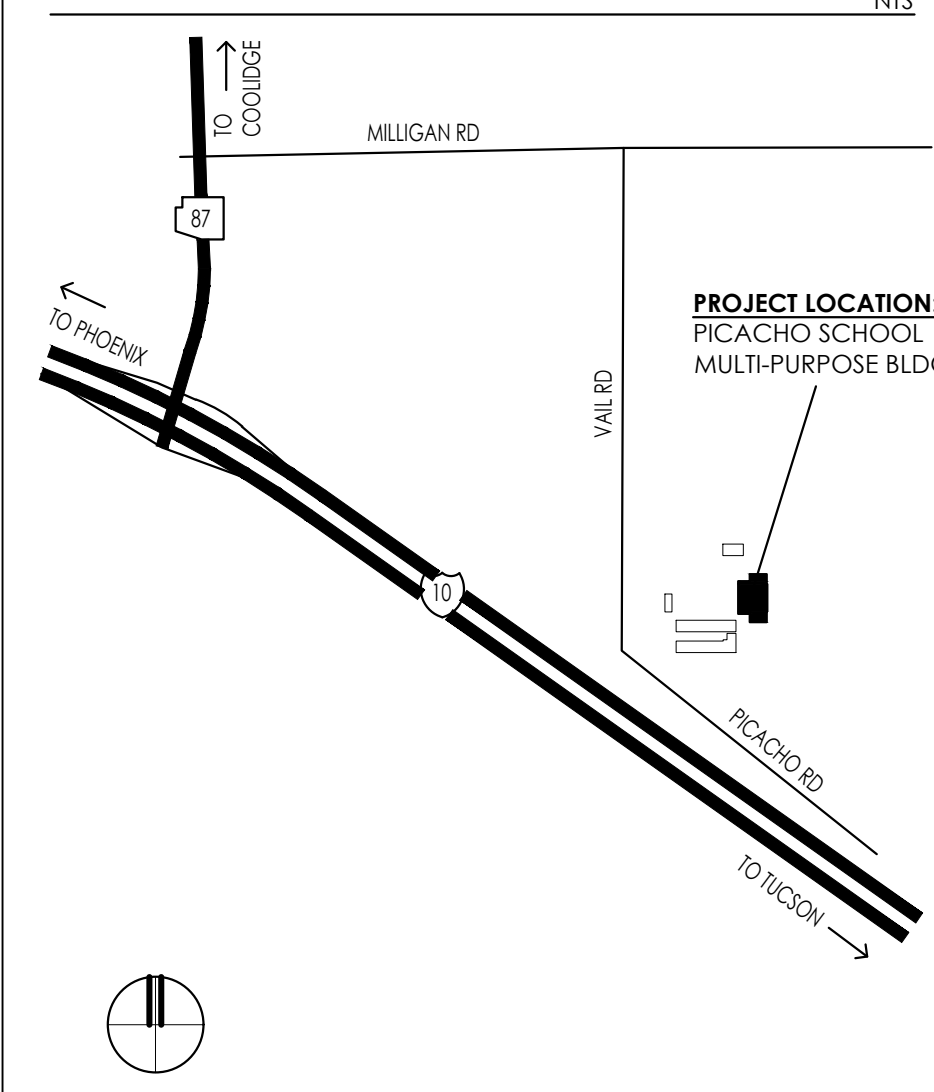
GENERAL LEGEND



LOCATION MAP



VICINITY MAP



SHEET INDEX

SHT#	SHEET DESCRIPTION
1	G100 COVER SHEET
2	A100 DEMO ROOF PLAN
3	A200 ROOF PLAN
4	A300 ROOF DETAILS

SCHOOL BOARD

ALLEN ROGERS	SUPERINTENDENT
MICHELLE McLAUGHLIN	PRESIDENT
TRACI KILE	CLERK
TRACY AROS	MEMBER
ABEL GARZA	MEMBER

DESIGN TEAM

ARCHITECTURAL
SPS+ Architects LLP
(480) 991-0800

PROJECT DATA

PROJECT INFORMATION
MULTI-PURPOSE BUILDING ROOF RESTORATION
PICACHO ELEMENTARY SCHOOL
17865 SOUTH VAIL ROAD
PICACHO, ARIZONA 85141

PARCEL NUMBER: 411-23-0430

SITE AREA: 14.08 ACRES

OCCUPANCY GROUP: A-3 (EXISTING ASSEMBLY)

CONSTRUCTION TYPE: II-B (EXISTING)

ROOF REPLACEMENT:
MULTI-PURPOSE ROOF: 6,690 SF
KITCHEN (NORTH) ROOF: 1,822 SF
PLATFORM (WEST) ROOF: 3,791 SF
MEDIA (SOUTH) ROOF: 2,317 SF

TOTAL: 14,620 SF (VERIFY IN FIELD)

CODES AND STANDARDS
2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL FIRE & GAS CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2018 INTERNATIONAL EXISTING BUILDING CODE
2017 NATIONAL ELECTRICAL CODE
2010 ADAAG (ADA ACCESSIBILITY GUIDELINES)

OTHER STATUTES, ORDINANCES, LAWS, REGULATIONS, RULES, ORDERS AND CODES SPECIFIED IN OTHER SECTIONS OF THE SPECIFICATIONS OR BEARING ON THE WORK INCLUDING REGISTRATION OF OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION UNLESS SUPERCEDED BY STATE STATUTE OR LAW

SCOPE OF WORK

NEW ROOFING MEMBRANE AND COVER BOARD OVER EXISTING ROOFING SYSTEM. THE SCOPE OF WORK INCLUDES, BUT IS NOT LIMITED TO:

- REMOVAL AND REINSTALLATION OF EXISTING METAL COPING.
- REMOVAL AND REINSTALLATION OF ALL EXISTING ROOF TOP MECHANICAL EQUIPMENT AS REQUIRED FOR CURB MODIFICATIONS AND FLASHING.
- REMOVAL AND SALVAGE OF EXISTING SOLAR PANELS ON ROOFS.
- INSTALLATION OF NEW COVER BOARD OVER EXISTING ROOFING SYSTEM.
- INSTALLATION OF NEW ROOFING MATERIAL.
- COORDINATION, REMOVAL AND REINSTALLATION OF EXISTING CELL TOWER. COORDINATE WITH VENDOR.

ALLOWANCE

#1: CONTRACTOR TO PROVIDE ALLOWANCE FOR 10% METAL COPING REPLACEMENT. REFER TO SPECIFICATION SECTION '01 2100 ALLOWANCES' FOR MORE INFORMATION. PROVIDE PER LINEAL FOOT COST FOR NEW METAL COPING ON BID FORM.

#2: PROVIDE ALLOWANCE FOR 50% REPLACEMENT OF WOOD NAILER UNDER COPINGS. REFER TO SPECIFICATION SECTION '01 2100 ALLOWANCES' FOR MORE INFORMATION. PROVIDE PER LINEAL FOOT COST FOR NEW NAILERS ON BID FORM.

GENERAL PROJECT NOTES

- ALL NOTES APPLY TO ENTIRE PROJECT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE TO DETERMINE FULL EXTEND OF WORK REQUIRED. NO ADDITIONAL COMPENSATION WILL BE PERMITTED FOR FAILURE TO ASCERTAIN ALL ASPECTS OF WORK REQUIRED FOR NEW CONSTRUCTION.
 - REPLACE ANY DAMAGED CURBS, UTILITIES, SIDEWALKS, ETC. DUE TO CONSTRUCTION TRAFFIC. PROVIDE PROTECTION AS REQUIRED TO AVERT DAMAGE.
 - FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS.
 - NOTES APPLY TO ENTIRE PROJECT AREA AND SCOPE. COMPLY WITH PLANS, SPECIFICATIONS AND NOTES, WHICH EVER IS MORE RESTRICTIVE COMPLY WITH GOVERNING AGENCIES APPLICABLE CODES AND ORDINANCES.
 - CONTRACTOR TO REVIEW THE CONTRACT DOCUMENTS FOR CONTRACTIBILITY. DRAWINGS ARE DIAGRAMMATIC IN NATURE AND SUBJECT TO ADJUSTMENTS TO AVOID CONFLICTS. ALTERNATE CONSTRUCTION METHODS AND CONFIGURATION MAY BE MADE WHERE NECESSARY WITH THE ARCHITECT WRITTEN PERMISSION. COST FOR CONTRACTIBILITY REVISION SHALL BE APART OF THE ORIGINAL SCOPE OF WORK. NO ADDITIONAL COMPENSATION IS ALLOWED.
 - DETAILS ARE TYPICAL OR SIMILAR THROUGHOUT THE PROJECT. SUBJECT TO MODIFICATIONS FOR SPECIFIC CONDITIONS.
 - THE PROJECT SCOPE INCLUDES ALL WORK REQUIRED TO PROVIDE FINISHED, FULLY FUNCTIONAL CODE COMPLIANT CONSTRUCTION. CONTRACTOR TO INCLUDE WORK ASSOCIATED WITH UNSEEN EXISTING CONDITIONS THAT ARE TYPICAL TO REMODELING IN SIMILAR EXISTING CONSTRUCTION AREA.
 - CONTRACTOR TO UPDATE AND MAINTAIN RECORD DRAWINGS AND AS-BUILT PLANS OF WORK DAILY. DAILY MAINTENANCE OF AS-BUILT PLANS IS REQUIRED IN ORDER FOR CONTRACTOR TO SUBMIT THE REQUEST FOR PAYMENT. SEE SPECIFICATIONS.
 - FINAL CLEANUP AND DISPOSAL: REMOVE DEBRIS, RUBBISH AND WASTE MATERIAL FROM THE SITE TO A LAWFUL DISPOSAL AREA AND PAY ALL DISPOSAL AND HAULING COSTS.
 - CONTRACTOR TO PROVIDE ALL NECESSARY SERVICES, LABOR AND EQUIPMENT NECESSARY FOR SATISFACTORY COMPLETION OF WORK. CONTRACTOR TO ENSURE COMPLIANCE WITH APPLICABLE DUST CONTROL AND 'NESHAP' REQUIREMENTS. SEE PROJECT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS AND INFORMATION.

BID SET

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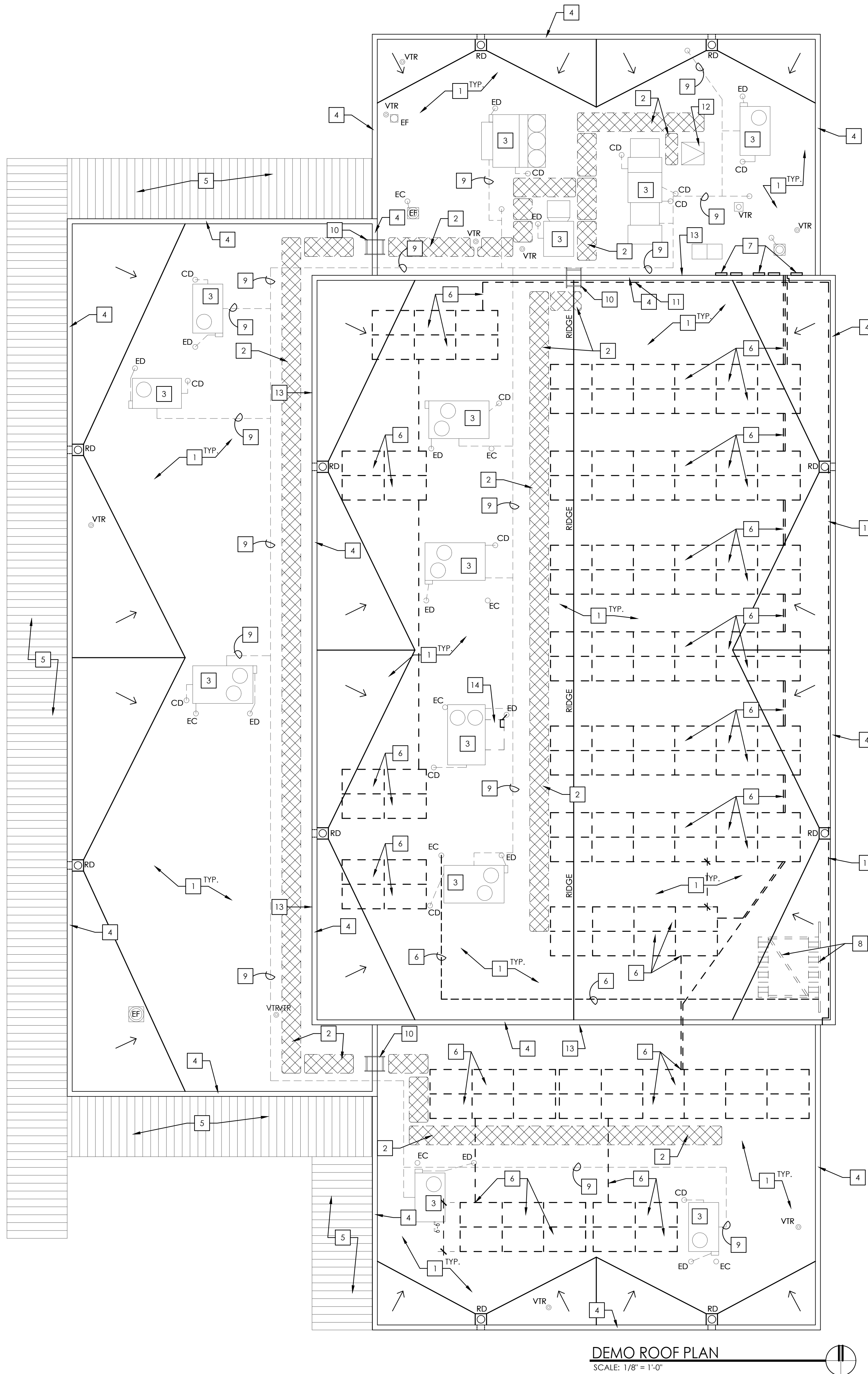
ORIGINAL ISSUE
DATE: 02/24/2020

JOB No: 1997

SHEET:

G100

SEQUENCE #:



DEMO ROOF PLAN
SCALE: 1/8" = 1'-0"

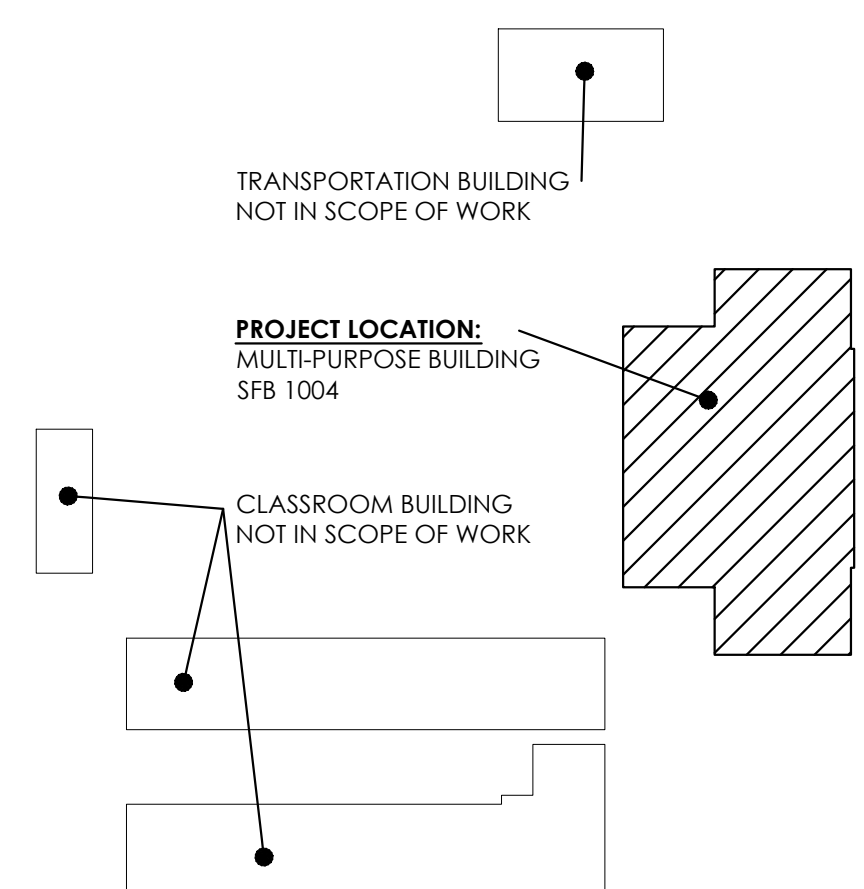
GENERAL NOTES

- A. EXISTING ROOFING MEMBRANE TO REMAIN IN PLACE. CLEAN AND PREPARE FOR NEW WORK.
- B. NOT ALL DEMOLITION MAY BE INDICATED ON PLANS. PROVIDE ALL DEMOLITION AS REQUIRED FOR NEW CONSTRUCTION AND PER MANUFACTURER'S REQUIREMENTS.
- C. REMOVE ALL REGLETS, TERMINATION BARS AND CAULKING AT ALL AREAS TO RECEIVE NEW ROOFING MEMBRANE.
- D. ALL EXISTING EQUIPMENT, PIPING AND MISCELLANEOUS ROOF ITEMS TO REMAIN, UNLESS NOTED OTHERWISE. ITEMS WHICH REQUIRE REMOVAL FOR RE-ROOFING AND REINSTALLATION MUST BE REINSTALLED FOR COMPLETE OPERATION. SAFELY STORE ITEMS AS REQUIRED. ANY ITEMS DAMAGED ARE TO BE REPLACED AT NO ADDITIONAL COST. VERIFY WITH OWNER ANY ITEMS NO LONGER REQUIRED TO BE IN SERVICE. SUCH ITEMS WILL NOT REQUIRE RE-INSTALLATION.
- E. COORDINATE GAS AND ELECTRIC SHUT-OFF WITH UTILITY/OWNER PRIOR TO DEMOLITION.
- F. REMOVE AND DISCARD ALL EXISTING WALKWAY PADS.
- G. REMOVE ALL EXISTING PIPE SUPPORTS.
- H. ALL EXISTING ROOF DRAINS AND THRU-WALL SCUPPERS TO REMAIN. CLEAN AND REMOVE ALL ORGANIC GROWTH AS OCCURS.
- I. ALL EXISTING METAL COPING AND TERMINATION BARS TO BE SALVAGED. CONTRACTOR TO INSPECT AND NOTIFY ARCHITECT OF ANY DAMAGED OR UNSALVAGEABLE ITEMS.

DEMO PLAN NOTES

1. EXISTING ROOFING MEMBRANE TO REMAIN IN PLACE. CLEAN AND PREPARE FOR NEW CONSTRUCTION.
2. EXISTING WALK WAY PADS TO BE REMOVED.
3. EXISTING MECHANICAL UNIT TO REMAIN. LIFT AS REQUIRED FOR CURB PAN DEMO AND NEW WORK.
4. REMOVE AND STORE EXISTING METAL COPING AT ALL PARAPET WALLS. CLEAN AND PREPARE FOR REINSTALLATION. DISPOSE OF EXISTING FELT FLASHING UNDER COPING. INSPECT WOOD NAILERS UNDER COPINGS FOR DAMAGED DETERIORATION AND REPLACE WITH NEW TREATED NAILERS AS REQUIRED.
5. NO WORK AT THIS ROOF. PROTECT FROM DAMAGE.
6. EXISTING SOLAR PANELS AND ASSOCIATED CONDUIT TO BE REMOVED PRIOR TO ROOF RECOVERY PROJECT. UNDER SEPARATE CONTRACT. PATCH AND REPAIR ANY PENETRATIONS IN FINISHED SURFACES.
7. EXISTING SOLAR PANEL CONTROL BOXES TO BE REMOVED UNDER SEPARATE CONTRACT. PATCH AND REPAIR ANY PENETRATIONS IN VERTICAL CMU WALL.
8. COORDINATE REMOVAL OF EXISTING CELL TOWER WITH VENDOR. PATCH AND REPAIR ANY PENETRATIONS IN ROOF AND VERTICAL CMU WALL AS REQUIRED.
9. LIFT EXISTING GAS LINE AS REQUIRED FOR NEW CONSTRUCTION. COORDINATE WITH GAS COMPANY AND DISTRICT PRIOR TO DISCONNECTION - IF NEEDED. DISPOSE OF ALL EXISTING WOOD PIPE STANDS.
10. REMOVE AND STORE EXISTING ROOF LADDER. PREPARE FOR REINSTALLATION.
11. REMOVE EXISTING CONDUIT LEFT OVER FROM SOLAR PANELS AND CELL ANTENNA. CONFIRM CONDUIT HAS BEEN ABANDONED PRIOR TO REMOVAL.
12. EXISTING ROOF HATCH TO REMAIN.
13. REMOVE EXISTING METAL TERMINATION BAR AND FLASHING AT LOW ROOF TO CMU WALL TYPICAL. REMOVE SEALANT AND OTHER RESIDUE AND RE-POINT GROUT IF NEEDED PRIOR TO NEW WORK.
14. DEMO METAL PAN AND PORTION OF CURB THAT DOES NOT FIT UNDER MECHANICAL UNIT.

KEY PLAN

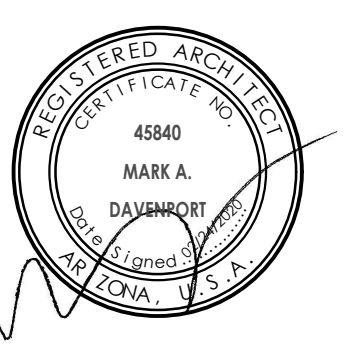


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ORIGINAL ISSUE DATE: 02/24/2020

JOB No: 1997

SHEET: A100

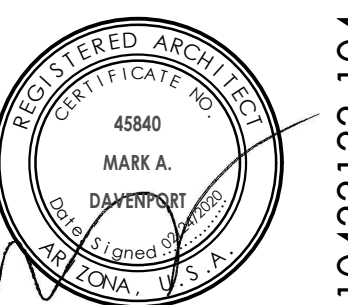
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ORIGINAL ISSUE DATE: 02/24/2020

JOB No: 1997

SHEET: A200

SEQUENCE #:

IFB# 20-01-21 / SFB# 110433133-104-003-BRG

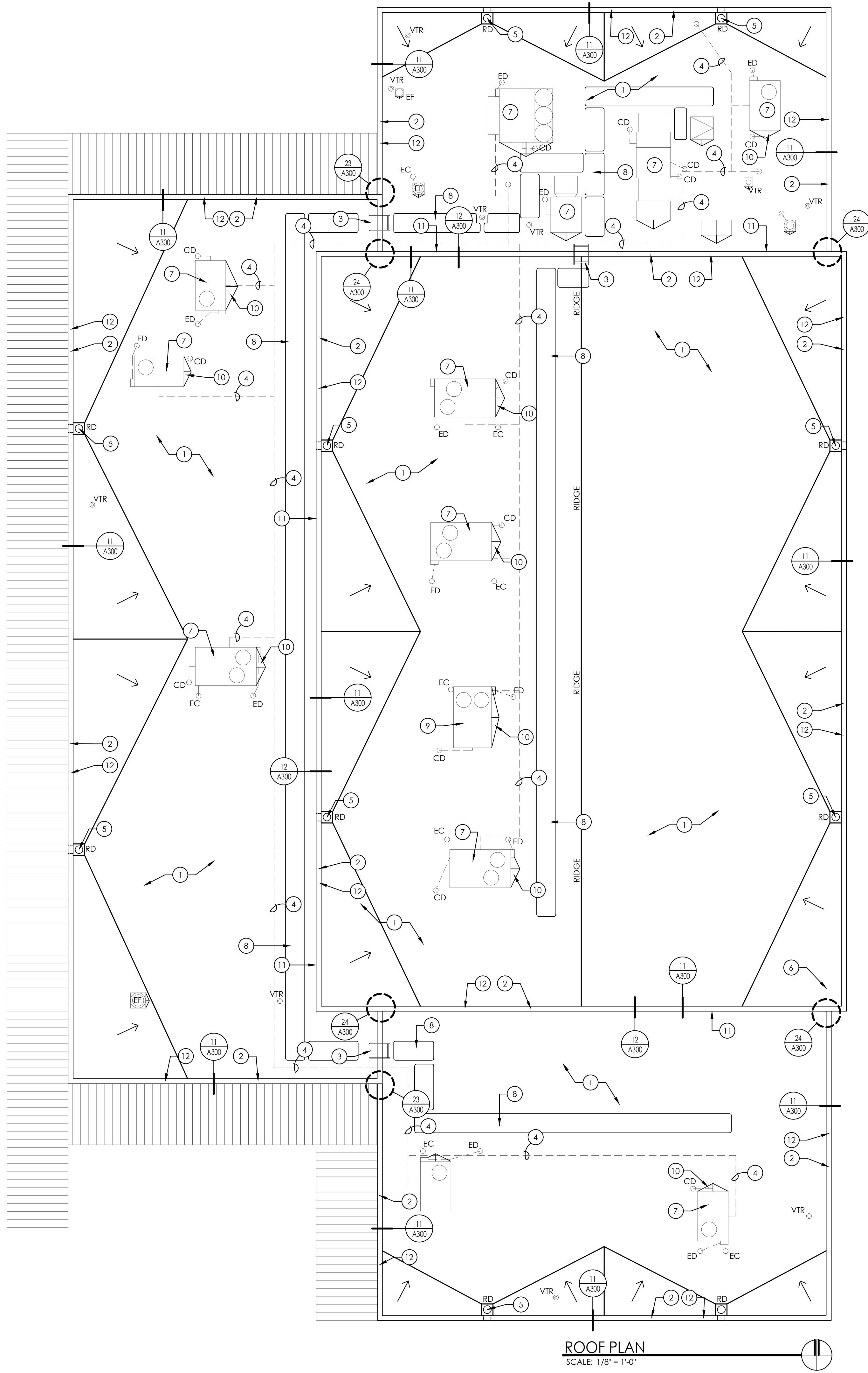
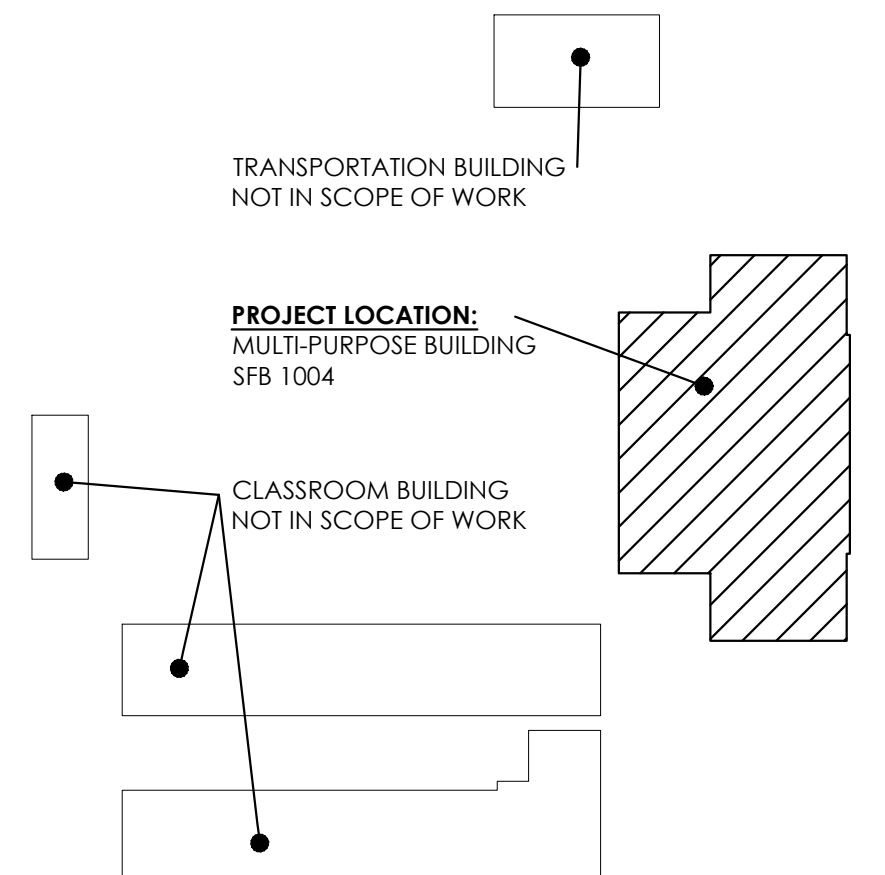
GENERAL NOTES

- REFER TO SPECIFICATIONS FOR ROOFING MEMBRANE TO BE INSTALLED OVER EXISTING ROOFING.
- MECHANICAL UNITS, EQUIPMENT, VENTS, ETC. SHOWN DIAGRAMMATIC. THEY ARE NOT TO SCALE AND THE LOCATIONS ARE APPROXIMATE. NOT ALL ROOFING PENETRATIONS MAY BE SHOWN. CONTRACTOR TO FIELD VERIFY QUANTITIES, SIZES AND LOCATIONS OF MECHANICAL AND ELECTRICAL PENETRATIONS PRIOR TO BIDDING. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR ADDITIONAL ROOFING PENETRATIONS.
- CONTRACTOR TO PROVIDE WARRANTED WATER TIGHT ROOF CONSTRUCTION AND FLASHING AT NEW ROOFING INSTALLATIONS.
- ALL EXISTING CURBS TO BE FULLY FLASHED FOR WATERTIGHT SEAL. ALSO SEE DETAILS (5) A300.
- NEW ROOFING MEMBRANE TO EXTEND UP ALL EXISTING GI CONES AT ALL VENTS THROUGH ROOF (VTR) ELECTRICAL DISCONNECT PENETRATIONS (ED) CONDENSATE DRAIN PENETRATION (ED) AND ELECTRICAL CONDUIT PENETRATION (EC). REFER TO DETAILS (4) A300, (10) A300.
- TEST OPERATING CONDITIONS OF ALL SALVAGED VENTILATORS AND HVAC UNITS PRIOR TO REINSTALLATION. REPORT CONDITION TO ARCHITECT.
- PROVIDE NEW TERMINATION BARS, COUNTERFLASHING AND SEALANT AT ALL AREAS WHERE REMOVED.
- CONTRACTOR TO MAINTAIN SLOPE OF EXISTING CRICKETS.
- ALL SALVAGED METALS (COPING, COUNTERFLASHING, LADDERS, ETC.) TO BE PAINTED TO MATCH EXISTING COLOR SCHEME. VERIFY PAINT COLOR WITH ARCHITECT PRIOR TO PAINTING.
- PROVIDE NEW TAPERED INSULATION CRICKETS AT ALL EXISTING MECHANICAL UNITS AS INDICATED.

PLAN NOTES

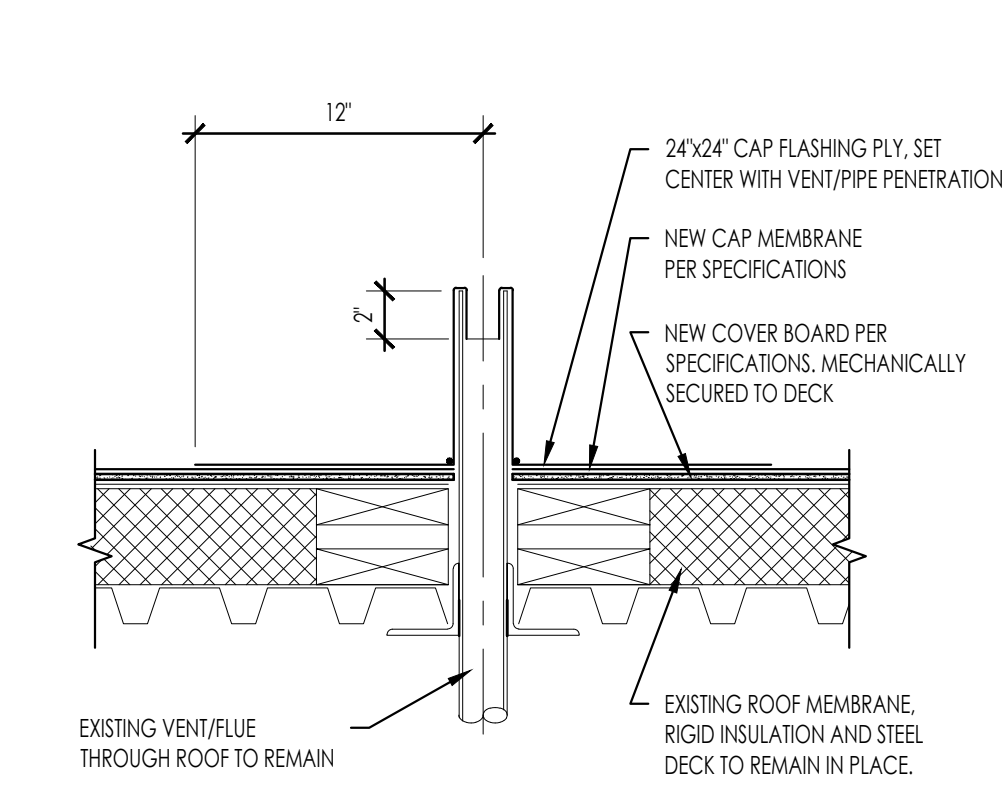
- NEW ROOFING MEMBRANE OVER COVER BOARD OVER EXISTING ROOFING SYSTEM. REFER TO SPECIFICATIONS. NEW ROOFING MEMBRANE TO EXTEND UP PARAPET WALLS AND TERMINATE BELOW PARAPET NAILER, UNLESS NOTED OTHERWISE. MAINTAIN EXISTING ROOF SLOPE FOR POSITIVE DRAINAGE.
- REINSTALL SALVAGED PARAPET COPING OVER NEW CAP FLASHING AND NAILER. PROVIDE NEW PAINT FINISH. REPAIR OR REPLACE ANY DAMAGED AREAS AS REQUIRED.
- REINSTALL SALVAGED ROOF LADDER. PROVIDE WATERTIGHT PENETRATIONS THROUGH NEW MEMBRANE. PROVIDE NEW PAINT FINISH.
- PROVIDE NEW PIPE SUPPORTS FOR ALL ROOFTOP GAS LINES. SEE DETAIL (18) A300.
- TAPER COVER BOARD AT ALL EXISTING ROOF DRAIN AND THRU-WALL SCUPPER LOCATIONS. ROOFING MEMBRANE TO TERMINATE AT BELOW EXISTING ROOF DRAIN. SEE DETAIL (16) A300.
- COORDINATE REINSTALLATION OF CELL TOWER WITH VENDOR. ALL PENETRATIONS, IF ANY TO BE FULLY FLASHED FOR WATERTIGHT CONSTRUCTION.
- TYPICAL AT ALL EXISTING ROOFTOP UNITS: LIFT EXISTING MECHANICAL UNITS. PROVIDE NEW PRESSURE TREATED SLEEPERS TO RAISE CURB TO 8" MIN. ABOVE FINISHED ROOF SURFACE AS REQUIRED FOR CURB MODIFICATIONS. PROVIDE NEW GALVANIZED METAL PAN. REFER TO DETAIL (5) A300.
- INSTALL NEW ROOF WALKWAY PADS AS SHOWN.
- LIFT EXISTING MECHANICAL UNIT OR CURB MODIFICATIONS. ENLARGE CURB IN NORTH-SOUTH DIRECTION TO COORDINATE WITH MECHANICAL UNIT SIZE AND ORIENTATION. PROVIDE PRESSURE TREATED SLEEPERS TO RAISE ENTIRE CURB TO MIN. 8" ABOVE FINISH ROOF SURFACE. PROVIDE NEW METAL PAN. REFER TO DETAIL (5) A300.
- PROVIDE NEW TAPERED INSULATION CRICKET. TYPICAL AT ALL ROOFTOP EQUIPMENT.
- WRAP NEW ROOFING MEMBRANE UP CMU WALL MIN. 12" (OR AS REQUIRED TO COVER OLD REGLET LOCATION) AND PROVIDE NEW REGLET AND COUNTER FLASHING PER DETAIL (5) A300.
- REPLACE DAMAGED/DETERIORATED WOOD NAILER AS REQUIRED WITH NEW PRESSURE TREATED WOOD NAILER TO MATCH EXISTING PROFILE. PROVIDE NEW SELF-ADHERED CAP FLASHING ALL PARAPETS PRIOR TO COPING REINSTALLATION.

KEY PLAN

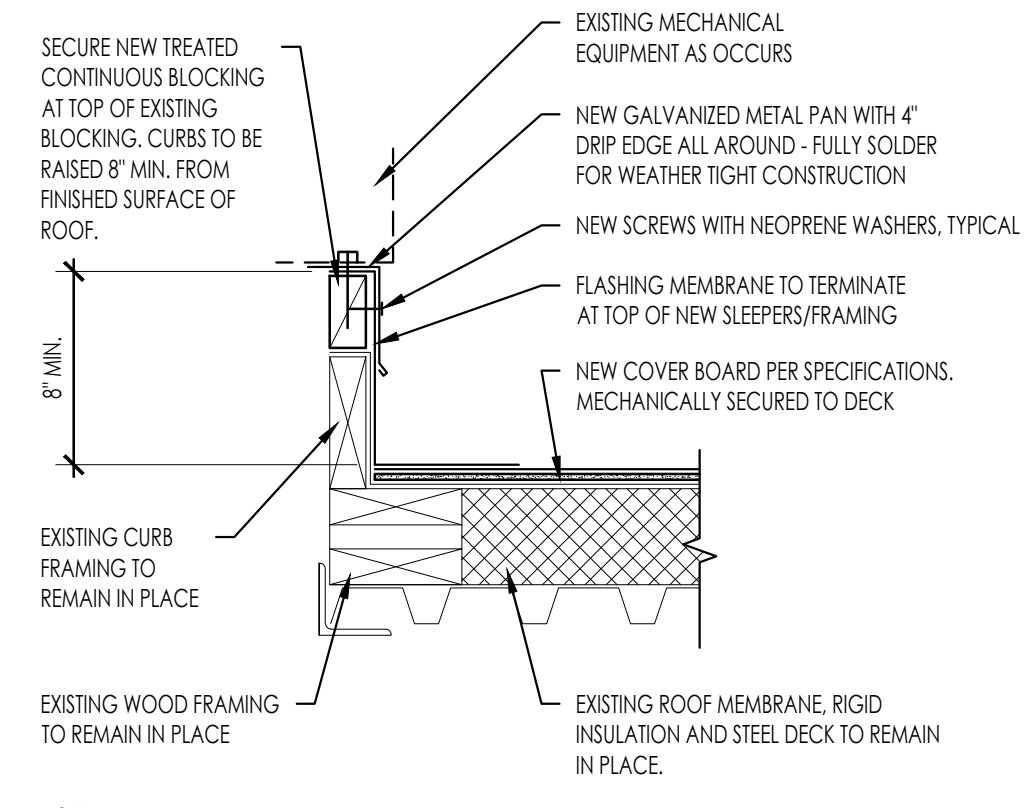


ROOF PLAN

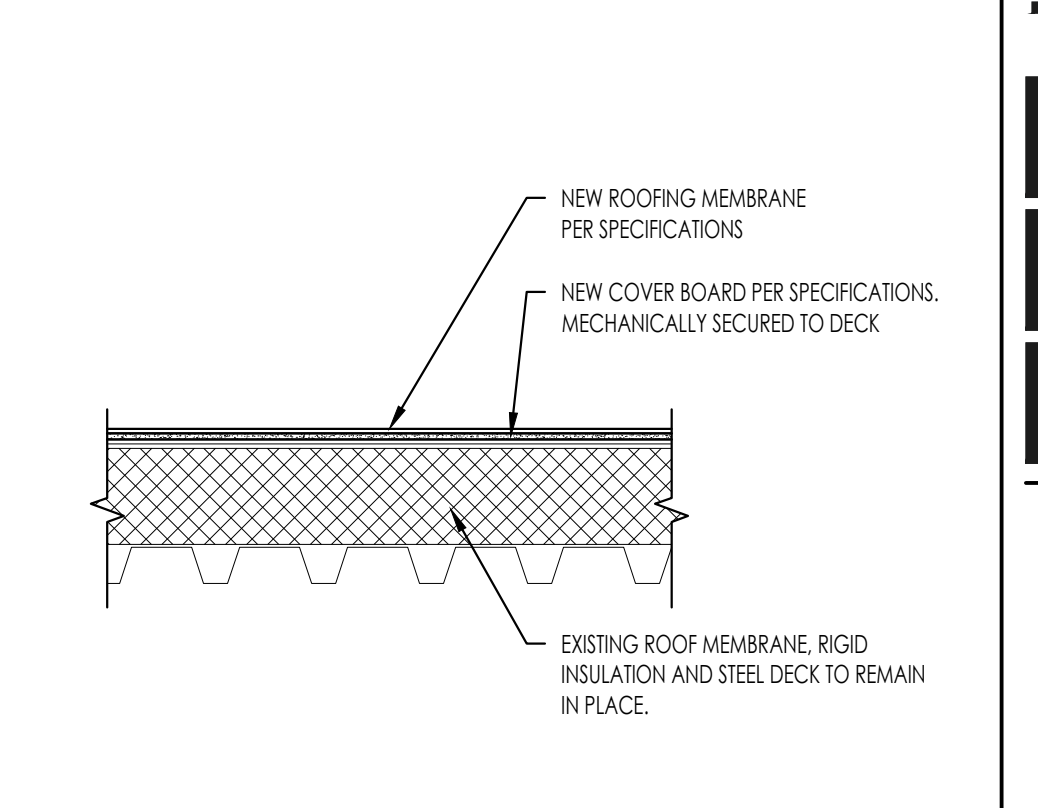
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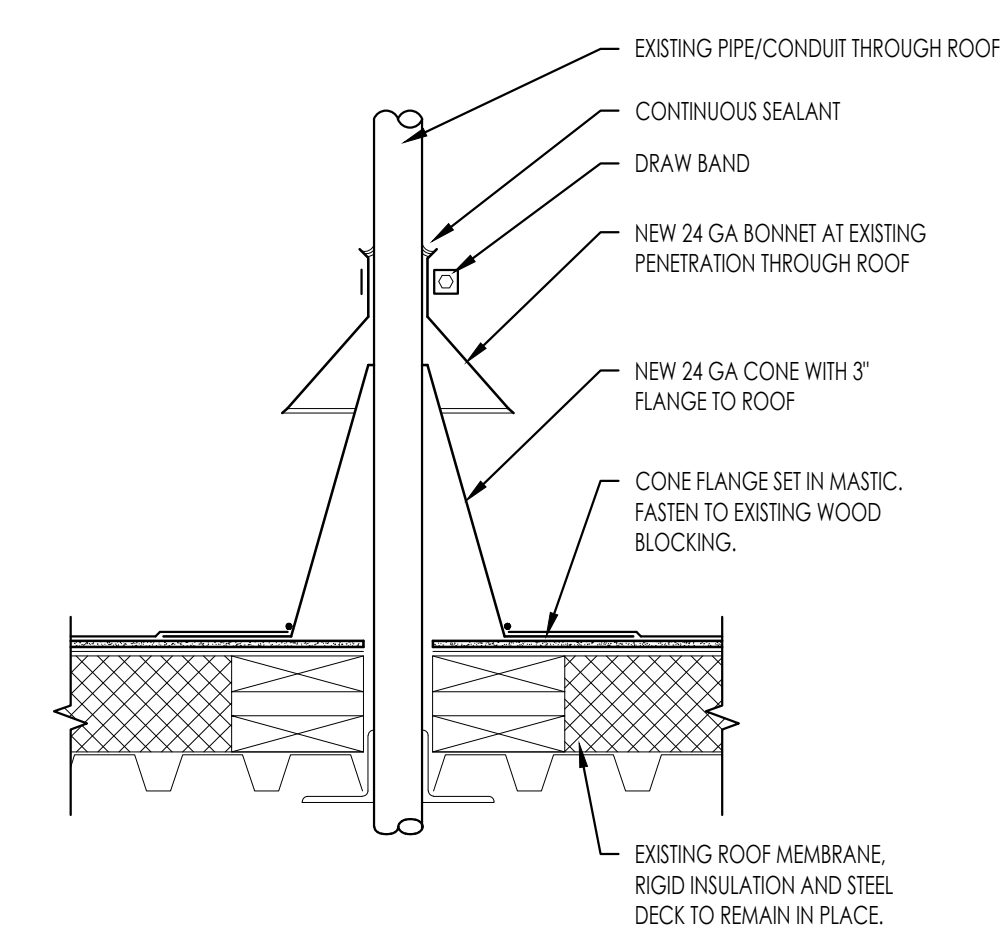
4 VENT/PIPE THROUGH ROOF
 SCALE: 1-1/2" = 1'-0"



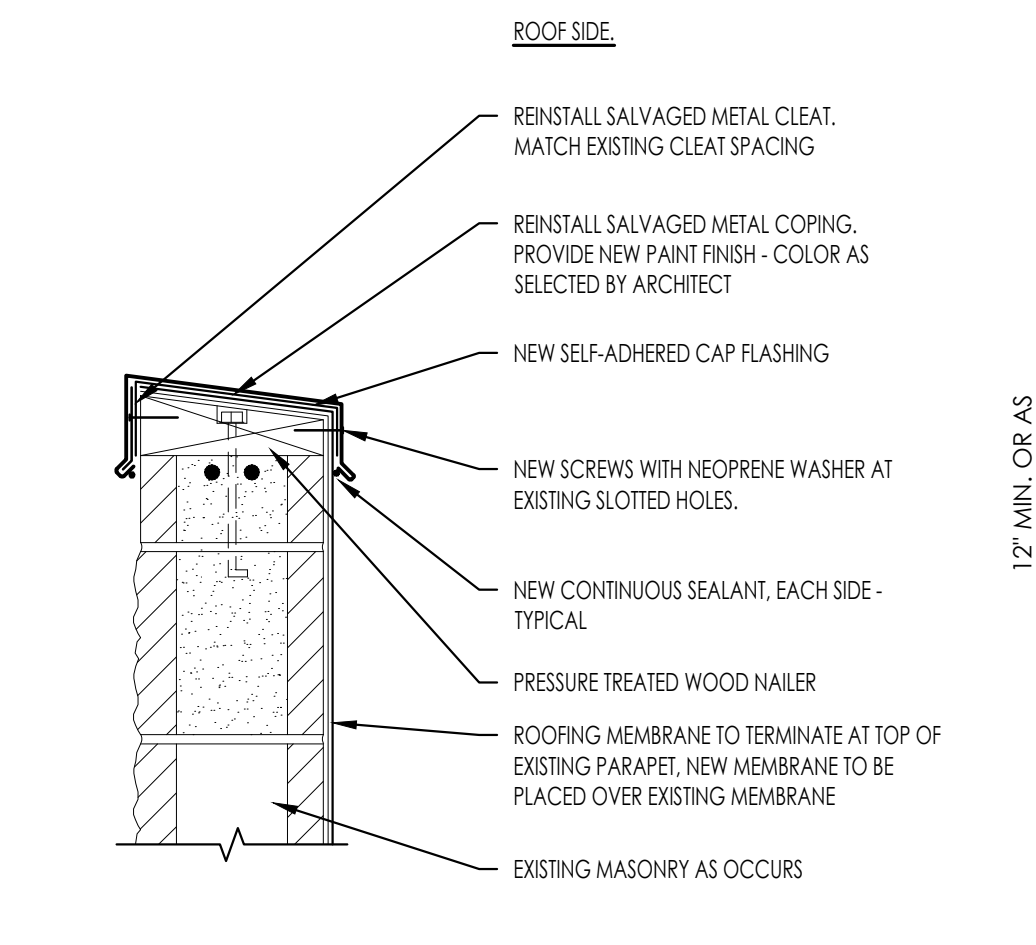
5 RAISED MECHANICAL CURB
 SCALE: 1-1/2" = 1'-0"



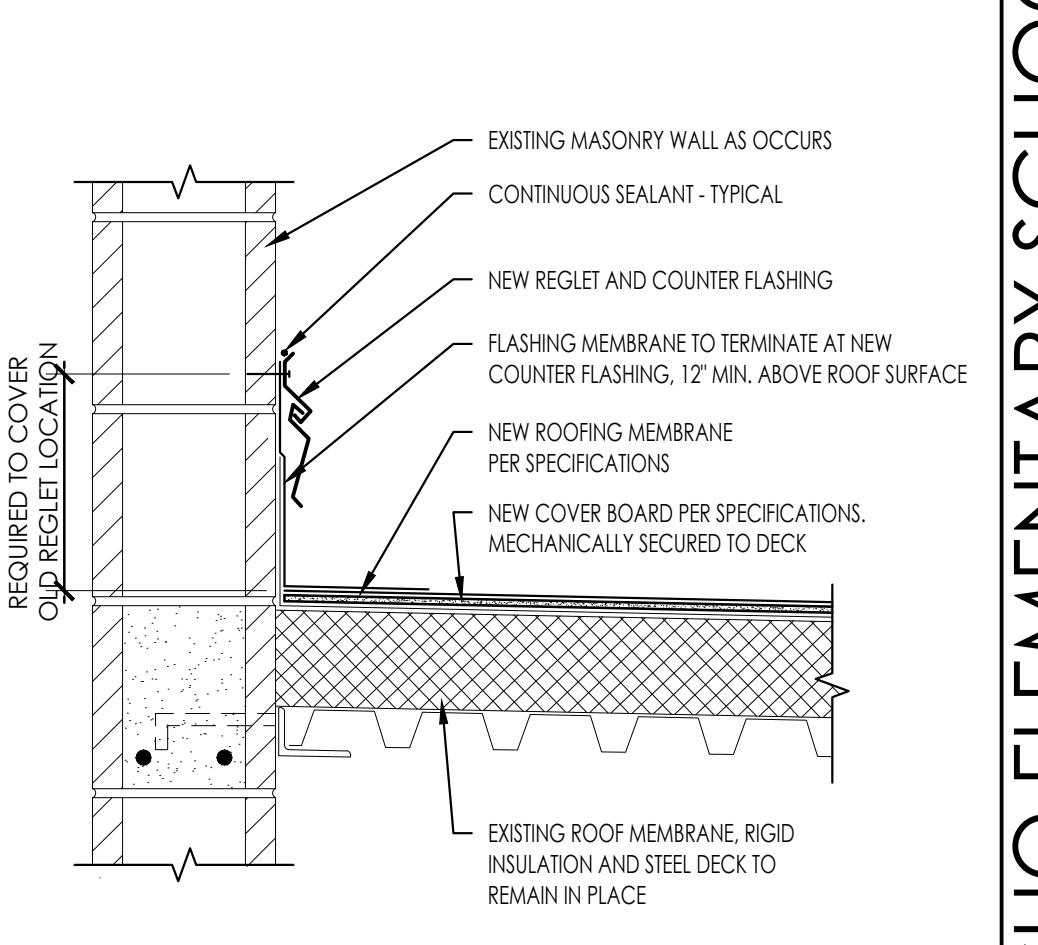
6 TYPICAL ROOF PROFILE
 SCALE: 1-1/2" = 1'-0"



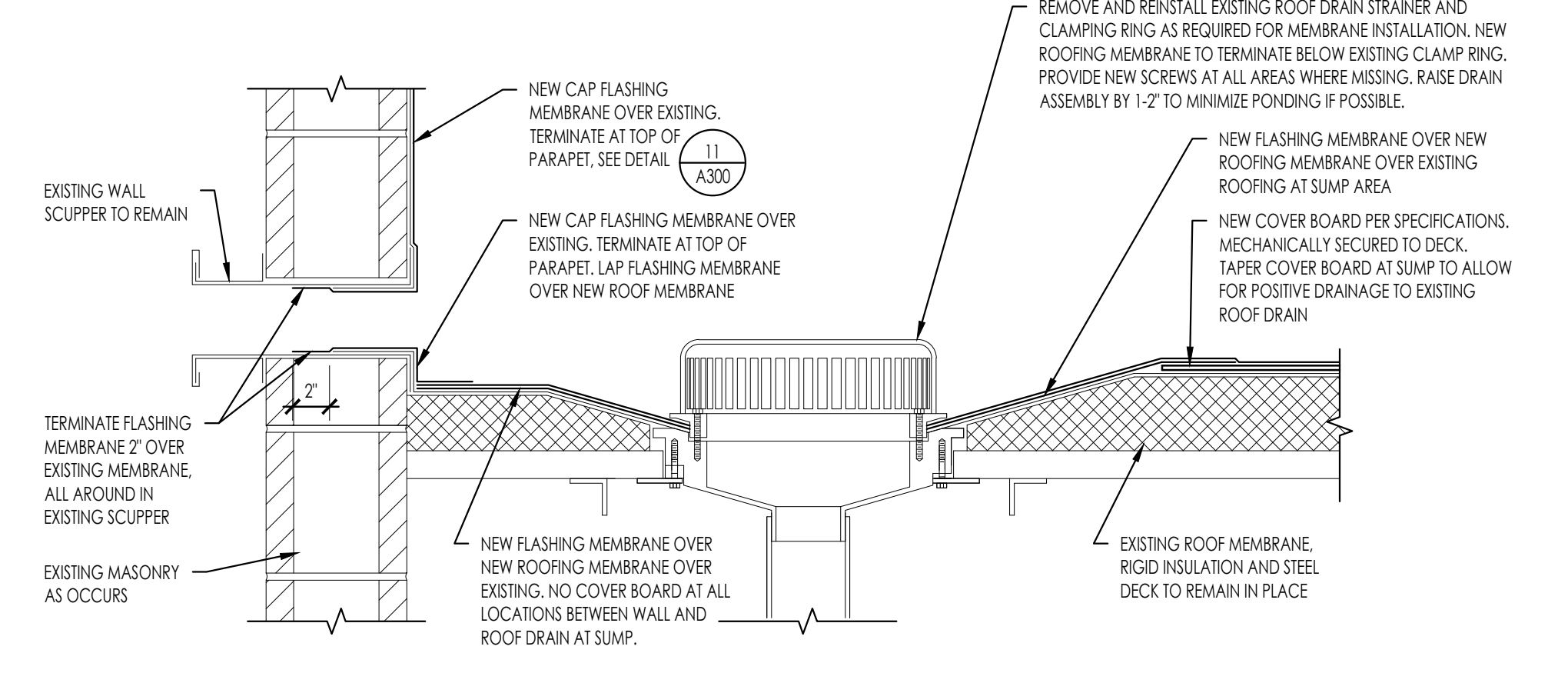
10 TYPICAL PIPE/CONDUIT THROUGH ROOF
 SCALE: 1-1/2" = 1'-0"



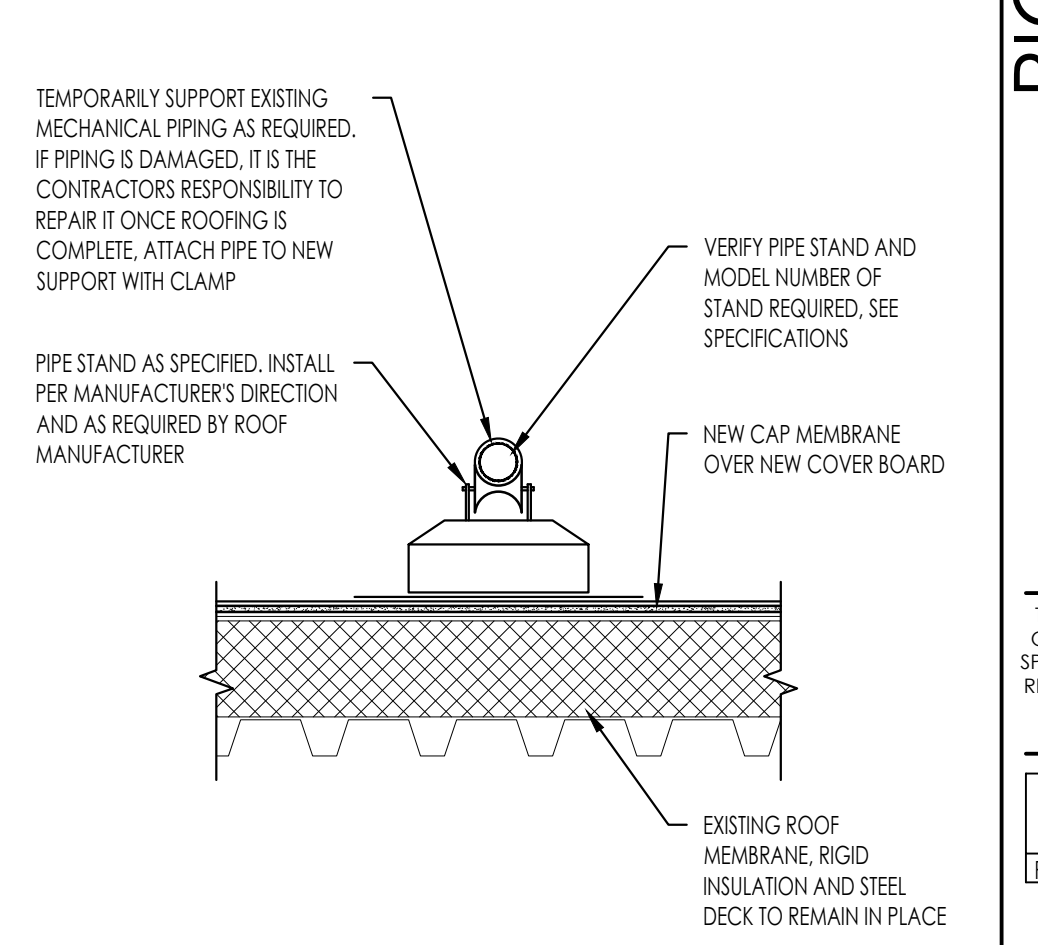
11 PARAPET COPING
 SCALE: 1-1/2" = 1'-0"



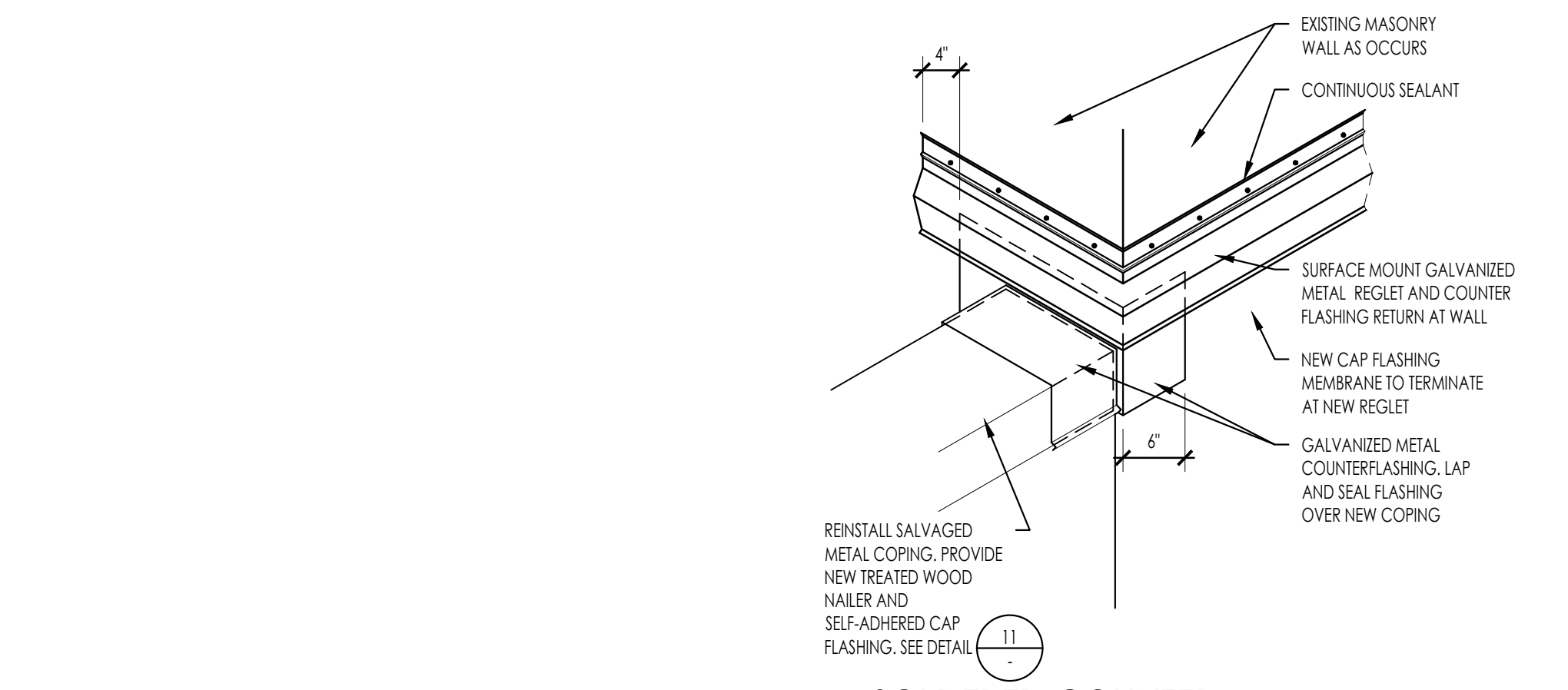
12 ROOF TO MASONRY
 SCALE: 1-1/2" = 1'-0"



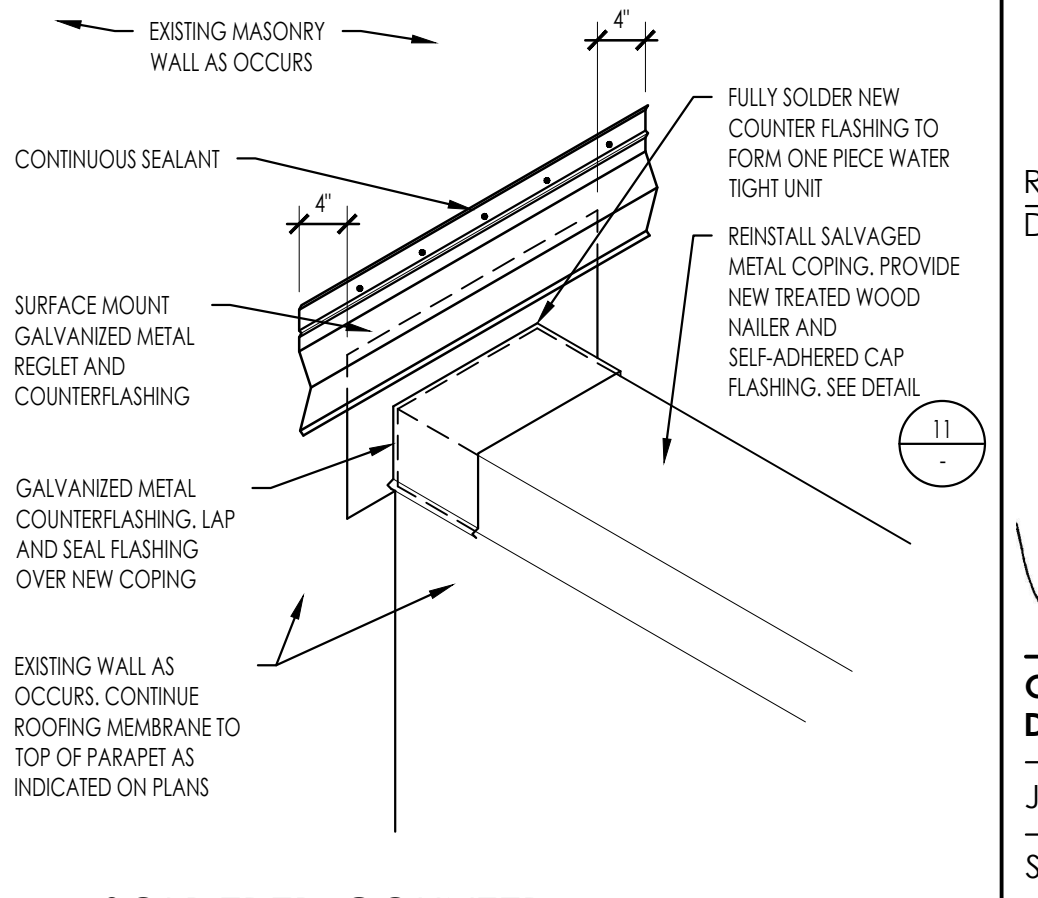
16 NEW ROOFING AT EXISTING ROOF DRAIN AND OVERFLOW SCUPPER
 SCALE: 1-1/2" = 1'-0"



18 PIPE SUPPORT
 SCALE: 1-1/2" = 1'-0"



23 SOLDERED COUNTER FLASHING AT WALL CORNER
 SCALE: 3/4" = 1'-0"

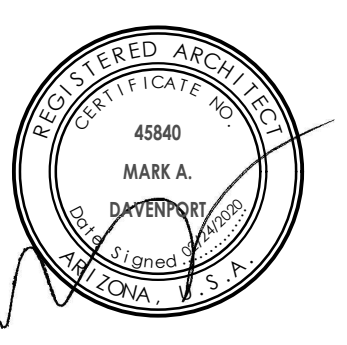


24 SOLDERED COUNTER FLASHING AT PARAPET
 SCALE: 3/4" = 1'-0"

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REVIEWED BY: SP
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ORIGINAL ISSUE DATE: 02/24/2020

JOB No: 1997

SHEET: A300

SEQUENCE #: